

To: Scott Weeks, Planning and Zoning Administrator

From: William Buhner, Chairman MLHPD

Dear Mr. Weeks:

The Mannsdale-Livingston Heritage Preservation District (MLHPD) Commission met on June 8, 2026 at 6:00 PM at the Chapel of the Cross in Madison, Mississippi. We reviewed the request for Building "I", Town of Livingston.

**Findings:**

The renovation request was presented by Mr. Trey Pace and Mr. Todd Sandridge, owner of The Town of Livingston property.

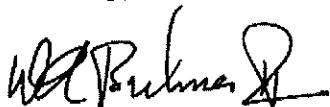
The MLHPD Board, a quorum in attendance, noted two issues that had to be resolved before a Certificate of Appropriateness could be issued: the lack of a proper site plan and a lack of proper construction documents. Both issues have been satisfactorily resolved by Mr. Scott Weeks and Mr. Andy Clark of Madison County.

**Recommendation:**

MLHPD Commissioners voted unanimously to recommend the permitting of Building "I" of the The Town of Livingston.

If you have any questions, please feel free to call me.

Sincerely,

A handwritten signature in black ink, appearing to read "W. Buhner". The signature is stylized and cursive.

William Buhner, Chairman MLHPD

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS/  
CERTIFICATE OF APPROPRIATENESS:  
MANNSDALE-LIVINGSTON HERITAGE PRESERVATION (MHP) DISTRICT**

APPLICANT NAME: TREY PALE  
APPLICANT ADDRESS: 299 SOUTH PERKINS ST., RIDGELAND MS  
APPLICANT TELEPHONE NUMBER: 601-955-4590  
DATE SUBMITTED TO ZONING ADMINISTRATOR: 6-8-26

LOCATION OF PROPERTY FOR WHICH CERTIFICATE OF APPROPRIATENESS IS REQUESTED: (PLEASE ATTACH MAP INDICATING BOUNDARIES OF PROPERTY INVOLVED AND/OR A LEGAL DESCRIPTION).

Northwest 1/4 of the Southeast 1/4 of  
SECTION 8, T8N-R1E  
MADISON CO, MS.

PLEASE SPECIFY PROPOSED USE OR USES OF THE SUBJECT PROPERTY FOR WHICH CERTIFICATE OF APPROPRIATENESS IS REQUESTED: (IF MORE THAN ONE USE, INDICATE ON THE REQUIRED SITE PLAN THE LOCATION OF ALL THE PROPOSED USES).

CHECK LIST ALL OF THE FOLLOWING THAT APPLY:

Uses Allowed Only As Special Exceptions:

- Public/ quasi-public facility or utility: Specify: \_\_\_\_\_  
- Commercial uses (See Zoning Ordinance for uses allowed as special exceptions) Please describe specific uses: RETAIL

- Surface mining operations of a temporary type: Please describe: BUILDING CONSTRUCTION

**SITE PLAN REQUIRED:** A site plan is required for all proposed buildings or structures (except single-family dwellings) in the MLHP District. If the applicant proposes the subdivision of land inside the MLHP, he/she must submit a subdivision plat in accordance with the Madison County *Subdivision Regulations*. All site plans (required for construction on a single lot) shall be prepared in accordance with Sections 402.16-19 and 505 of the Madison County Zoning Ordinance.

Previously submitted

**ADDITIONAL INFORMATION REQUIRED FOR DEVELOPMENT OF ALL COMMERCIAL PROPERTIES:**

1. Detailed lighting plan for grounds and buildings.
2. Detailed landscaping plan. NONE

applicant. For approval of this application, the applicant must demonstrate that the proposed building or structure is not excessively similar or dissimilar to other like buildings or structures in the MLHP district and that the proposed building/structure or use would not provoke one of the harmful effects listed below:

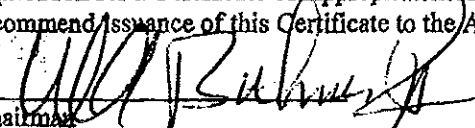
- Lower property values;
- Decreased economic growth; and/ or
- Diminished future opportunities for land use and development.

No building permit shall be issued by the County Building Official for any proposed construction in the MLHP district without a Certificate of Appropriateness.

### CERTIFICATE OF APPROPRIATENESS

Following review of the above application for a Certificate of Appropriateness with the required site plan and all supporting information, the Chairman of the Mannsdale-Livingston Heritage Preservation Commission may sign this Certificate indicating a recommendation for approval of the application and issuance of a Certificate. However, if the application for issuance of a Certificate is recommended for *denial*, the applicant shall have the right to appeal the recommendation of the Commission directly to the Board of Supervisors. *The Minutes of the Commission shall accompany the application indicating specific findings in this case, whether recommended for approval or denial.*

We, the Mannsdale-Livingston Heritage Preservation Commission, have reviewed the above application for a Certificate of Appropriateness with the required site plan and do hereby recommend issuance of this Certificate to the Applicant.

  
Chairman  
Mannsdale-Livingston Heritage Preservation Commission

6/09/2026  
Date

**APPROVED BY THE MADISON COUNTY BOARD OF SUPERVISORS:**

\_\_\_\_\_  
President

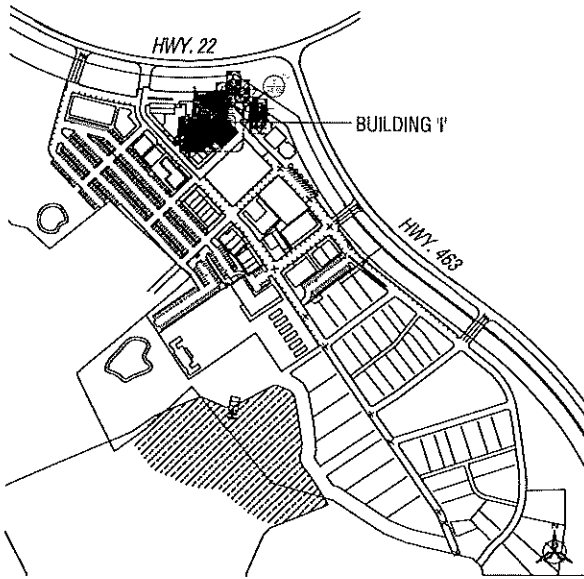
\_\_\_\_\_  
Date



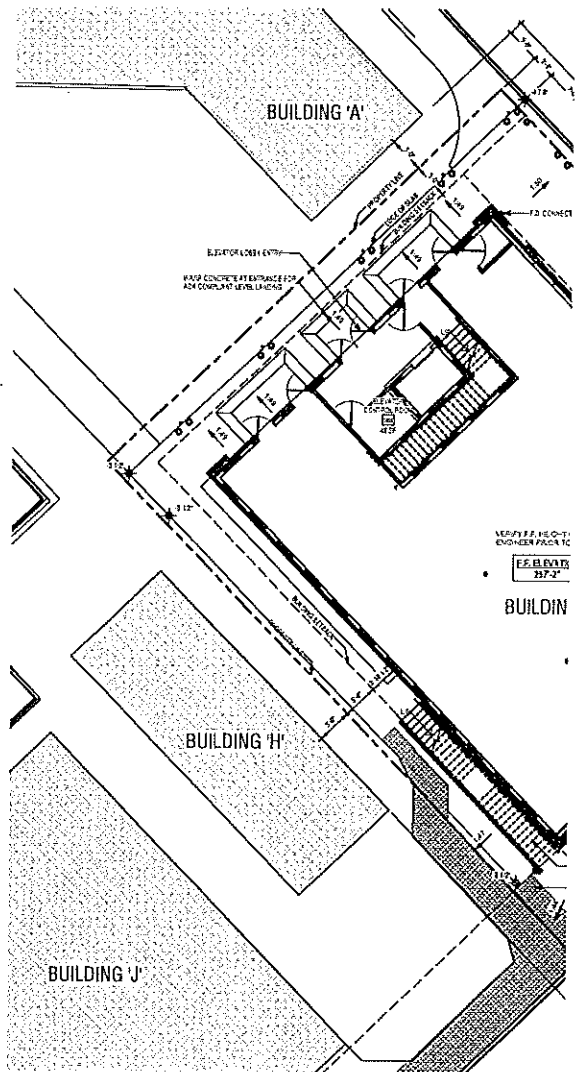








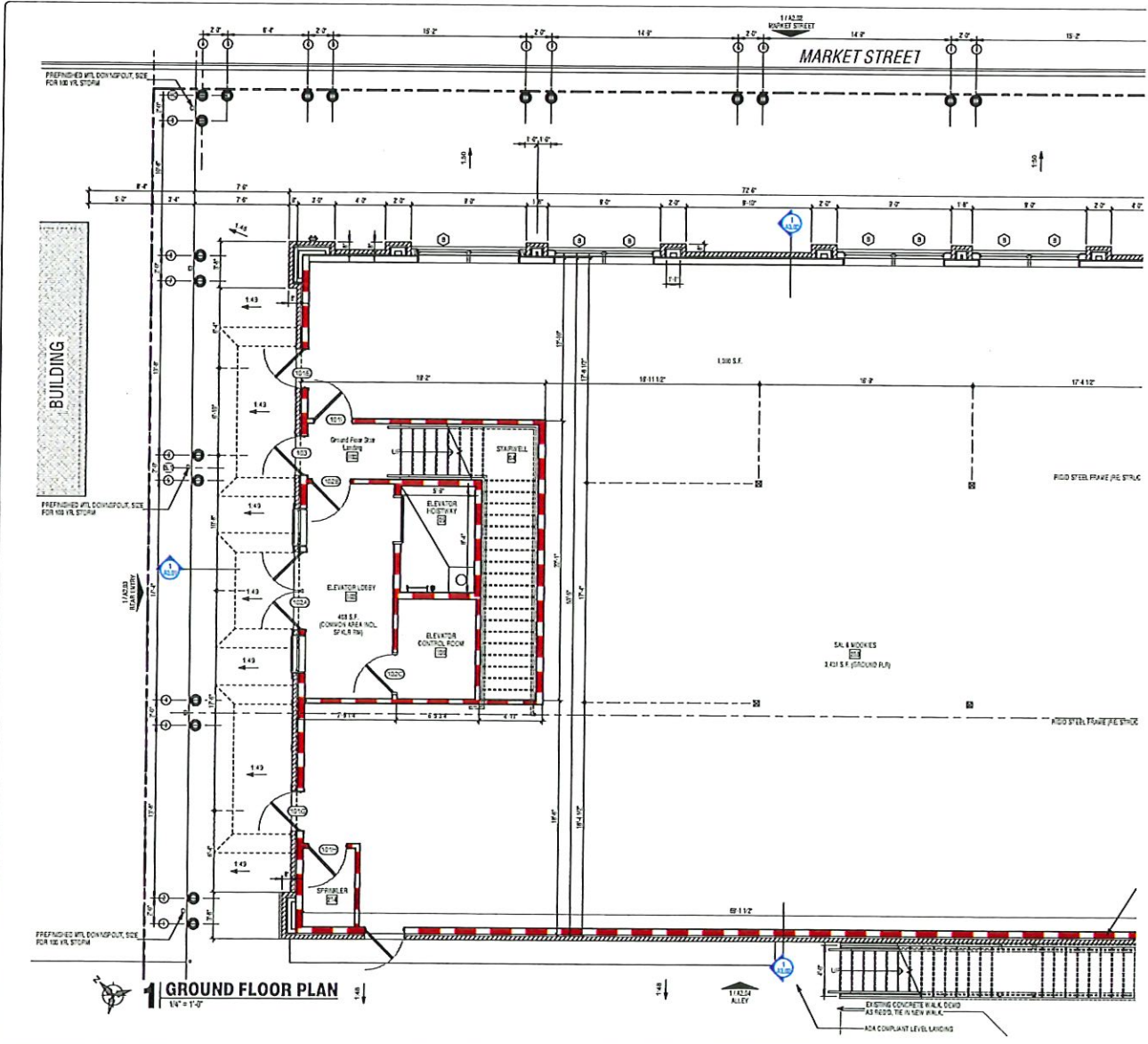
**1 VICINITY MAP**  
1" = 200'-0"



**2 SITE PLAN**  
1/8" = 1'-0"

REVISION: C:\Users\mch\OneDrive\Projects\2017\20170814 - University\2017\_170814.rvt

NOTE: ON 11/17/17 PER ALL OFFICE AND 12/15/17 CORRECTED



BUILDING

**1 GROUND FLOOR PLAN**  
1/4" = 1'-0"

REF: PER: C:\Users\jg\Documents\DWG\1 - Livingston Drive - 03/20/14.rvt

NOTE: ON ALL RFP PRINTS, ALL DIMENSIONS ARE 1/2" SCALE UNLESS NOTED OTHERWISE.

MARKET STREET

11422 MARKET STREET

ROD STEEL FRAME PER STRUCT

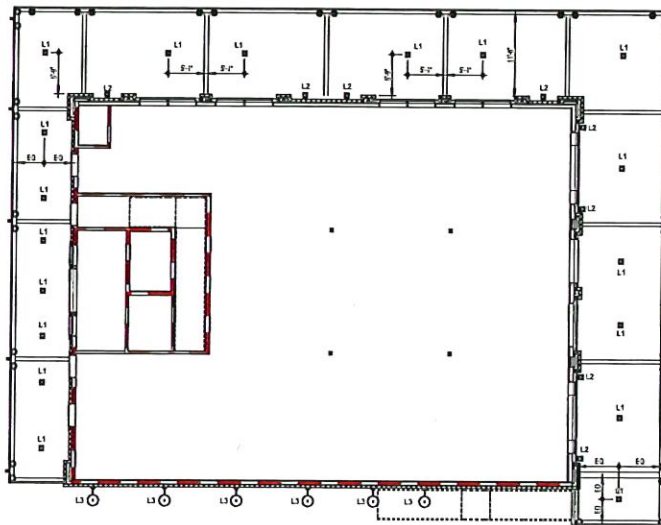
5/8" RODS  
2x12 S.F. (GROUND FLOOR)

TYPICAL ALLEY

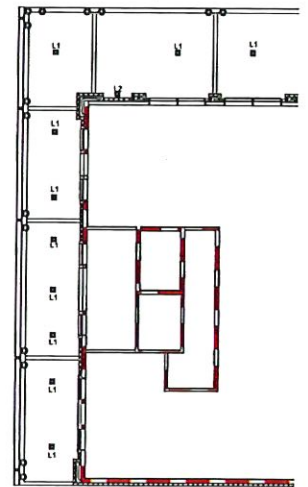
EXISTING CONCRETE WALL & DOOR  
AS NOTED, TIE IN NEW WALL  
ADA COMPLIANT LEVEL LANDING





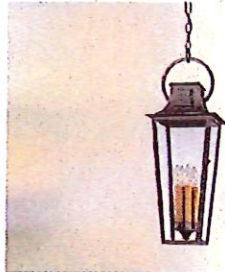


**1 GROUND FLOOR LIGHTING PLAN**  
1/8" = 1'-0"



**2 2ND FLOOR LIGHTING PLAN**  
1/8" = 1'-0"

PARISIAN SQUARE



L1

**F2967**  
EXTERIOR HANGING  
Hoop Pendant  
Clear Glass  
Aged Brass Finish  
18" Dia  
Adjustable Shade

PARISIAN SQUARE



L2

**B0562**  
EXTERIOR WALL SCONCE  
Hoop Pendant  
Clear Glass  
Aged Brass Finish  
18" Dia  
Adjustable Shade  
P1 Pendant, E24 - No remote sensor

**ST**  
16" I  
Alum  
3 and 4  
WIP

Finish  
- A-10  
- 100R  
- 100S  
Finish  
- 3-4  
- 3-1  
Material  
- 1-1  
- 1-2



**TROY LIGHTING**

1024 Hudson Avenue, Scarsdale, NY 10583 (914) 491-1111 Fax: (914) 491-0210 www.troylighting.com

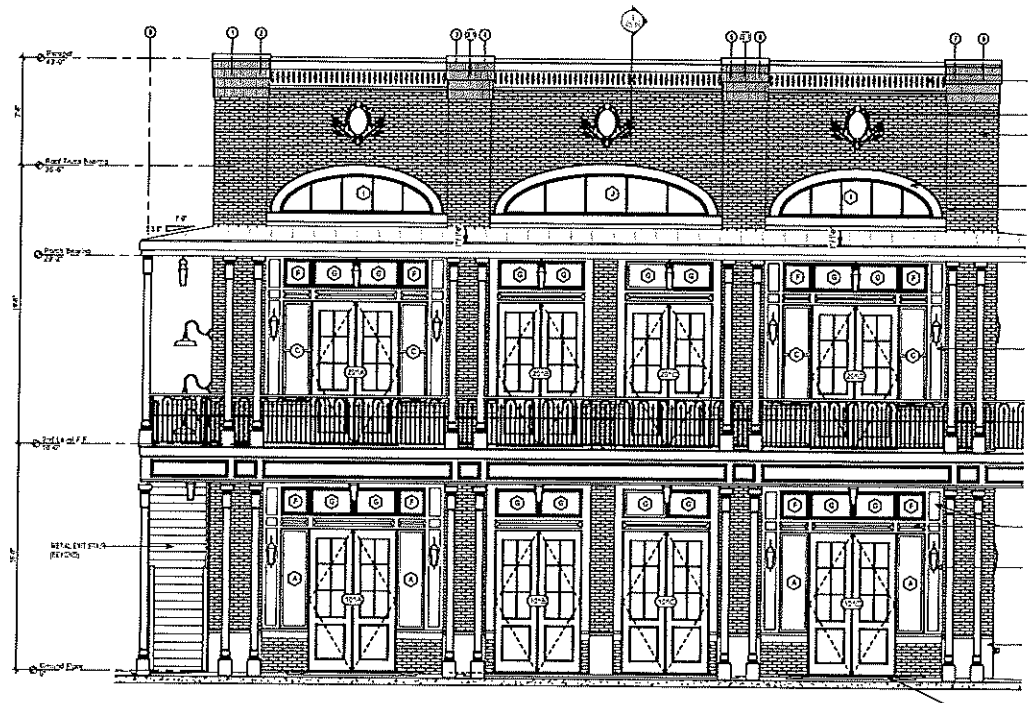


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1024 Hudson Avenue, Scarsdale, NY 10583 (914) 491-1111 Fax: (914) 491-0210 www.troylighting.com

REV: 04/11/11 - Client/Design/Development/Project/EST/PROJECT/04/11/11 - 11/11/11

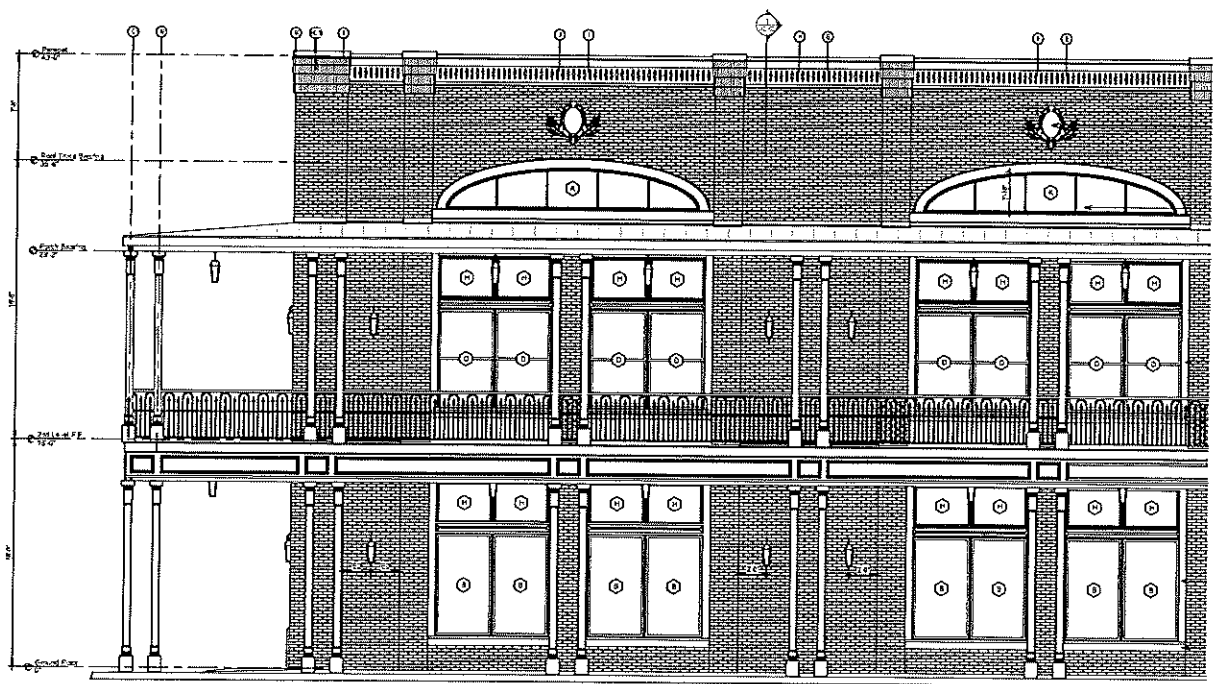
NOTE: ON THIS PRINT, ALL DIMENSIONS ARE TO SCALE EXCEPT



**1 LIVINGSTON LANE**  
1/4" = 1'-0"

DRAWN BY: C:\Users\johndoe\OneDrive\Documents\Projects\Livingston Lane\1-24-2017.dwg

NOTE: ON THIS DRAWING, ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

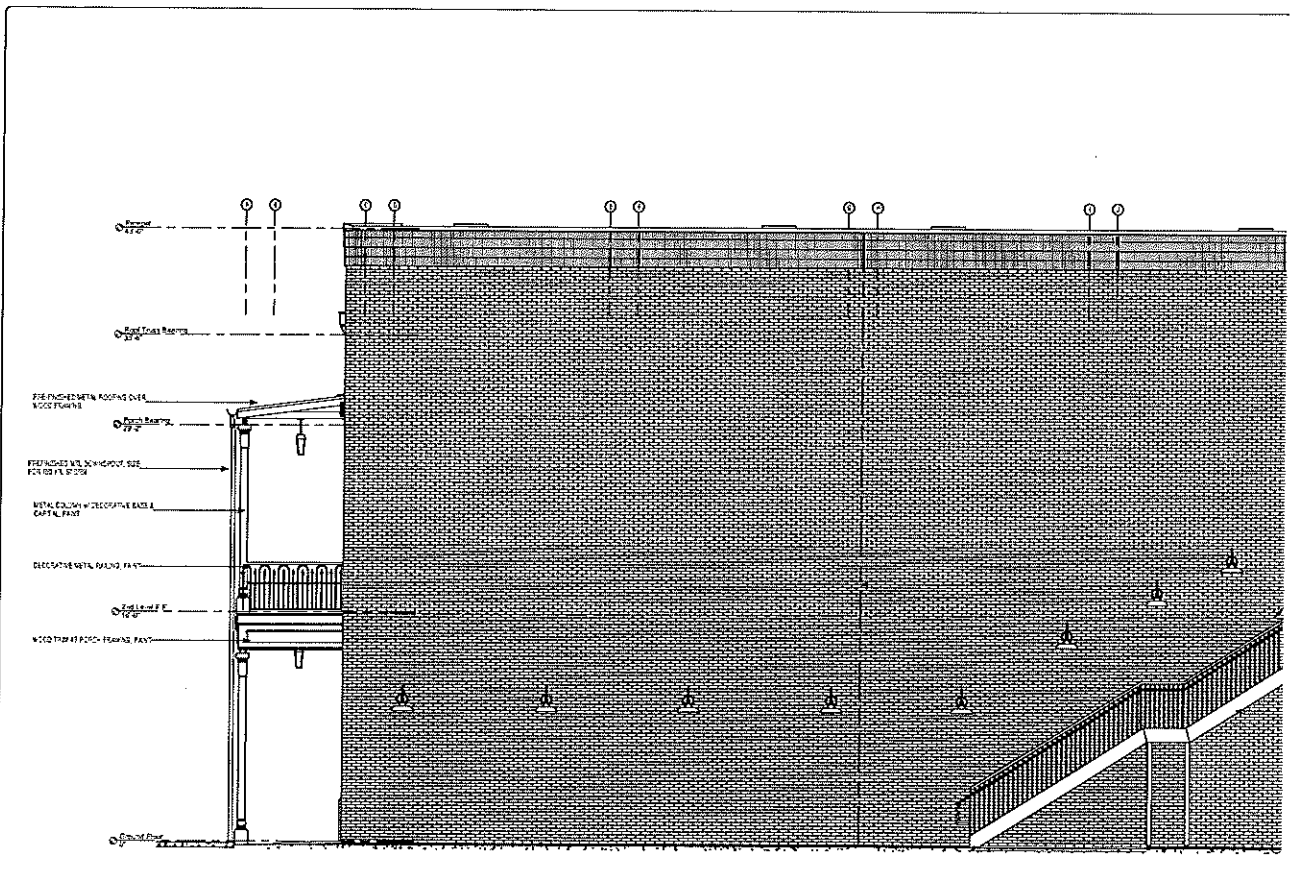


1 MARKET STREET  
W-19'

ARCHITECT: CLAWSON/BERNSTEIN/POPE/ARCHITECTS, L.L.P. (CLAWSON)

NOTE: ON THIS PRINT, ALL DIMENSIONS ARE TO SCALE UNLESS NOTED OTHERWISE.





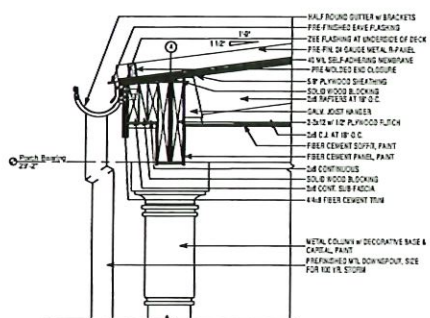
11/20/2011 11:20 AM C:\Users\jdoyle\Documents\Projects\11/20/2011\11/20/2011\11/20/2011.dwg

**1 ALLEY**  
1/4" = 1'-0"

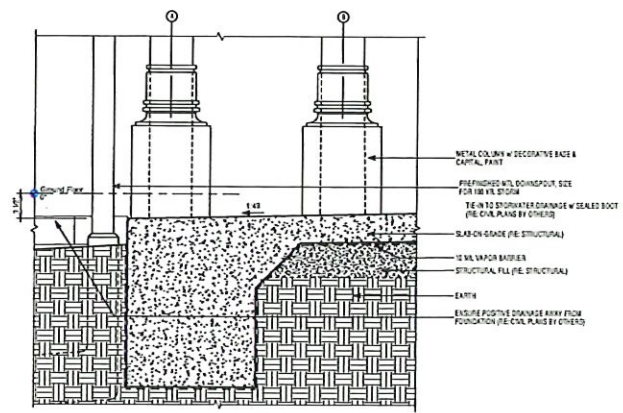
NOTE: ON THIS DRAWING, ALLOWANCES ARE TO BE MAINTAINED



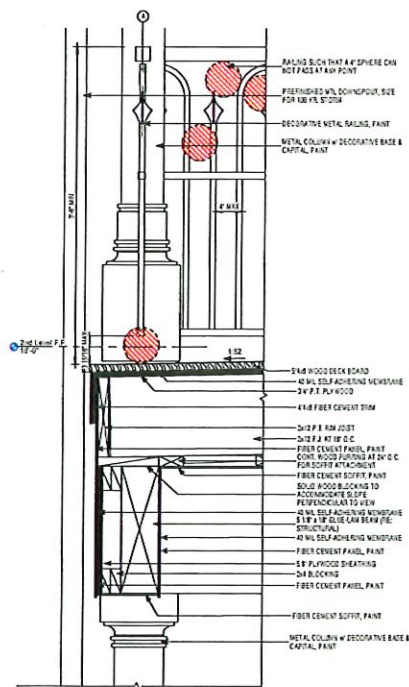




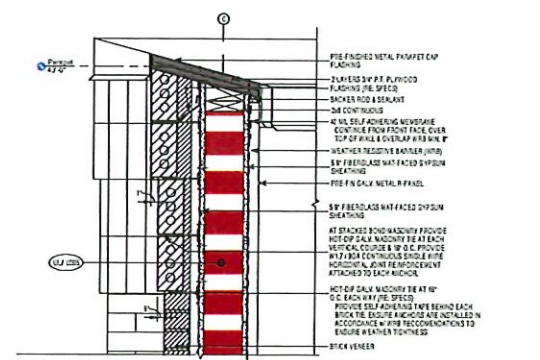
**1 PORCH EAVE**  
1 1/2" x 1'-0"



**3 LEVEL 1 COLUMN BASE**  
1 1/2" x 1'-0"



**2 LEVEL 2 PORCH EDGE**  
1 1/2" x 1'-0"



**4 PARAPET CAP**  
1 1/2" x 1'-0"

**5 PA**  
1 1/2"

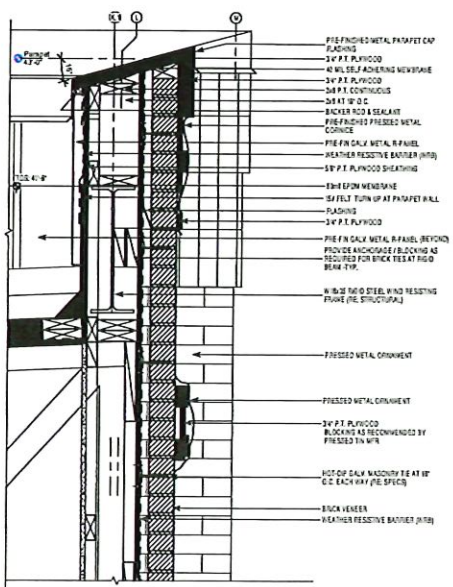
**6 PO**  
1 1/2"

REF: ENR - C:\Users\Ghosh\OneDrive\Files\Professional\ENR\REV\120316\1 - Unapproved Office - 7-15-2017.rvt

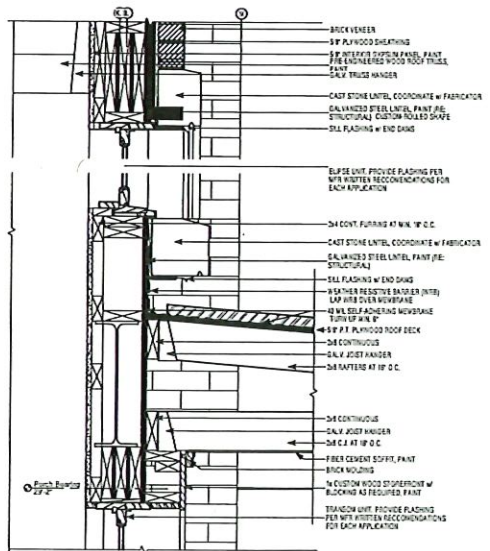
NOTE: ON 1/4" = 1'-0" PRINTS, ALL DIMENSIONS ARE IN SCALE UNLESS NOTED OTHERWISE.



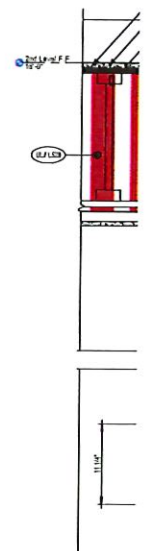




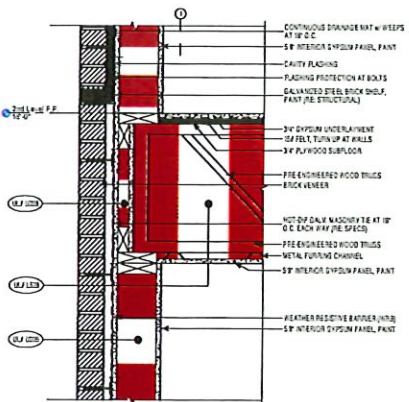
**1 PARAPET AT CORNICE**  
1 1/2" = 1'-0"



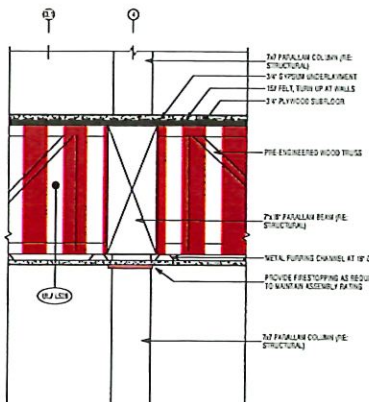
**2 SECTION DETAIL AT ELIPSE & RIGID FRAME**  
1 1/2" = 1'-0"



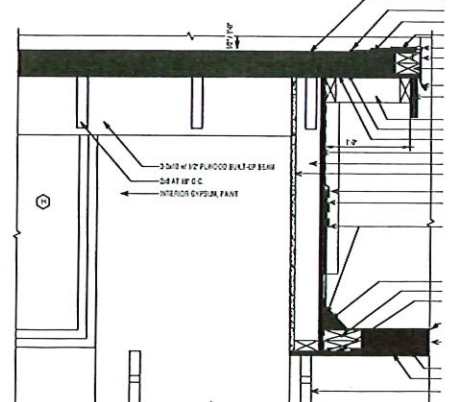
**3 2ND LI**  
1 1/2" = 1'-0"



**4 TRUSS BEARING AT RATED WALL**  
1 1/2" = 1'-0"



**5 TRUSS BEARING AT INT. BEAM**  
1 1/2" = 1'-0"

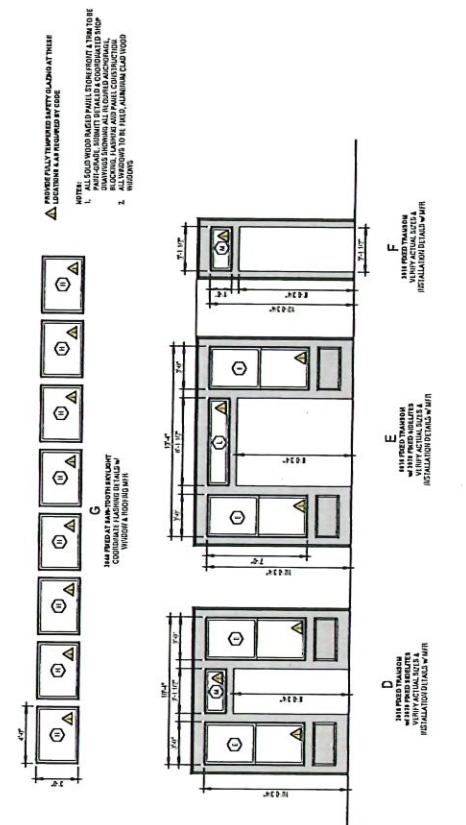
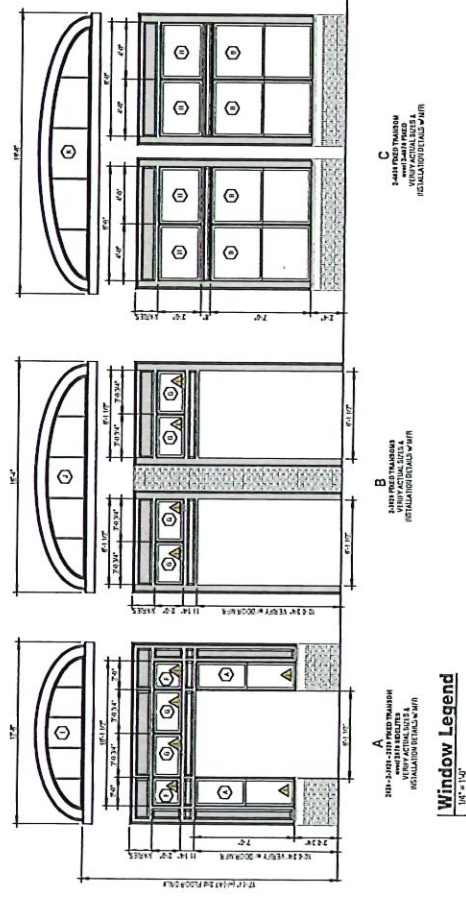
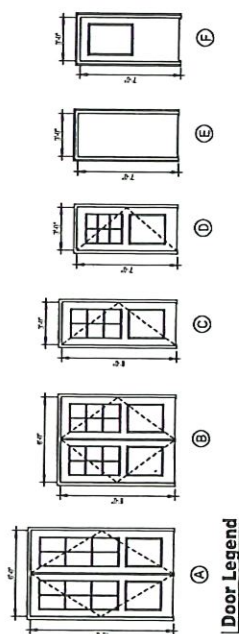


**6 SAW-TOOTH WALL CROSS SECTION**  
1 1/2" = 1'-0"

REF: 11/17/14 C:\Users\Denny\OneDrive\Projects\11-17-14\Langston Office\_Tables.rvt

NOTE ON 11\"/>

Item	Quantity	Notes	Description	Finish Type	Finish Color
1010	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1020	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1030	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1040	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1050	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1060	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1070	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1080	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1090	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1100	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1110	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1120	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1130	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1140	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1150	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1160	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1170	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1180	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1190	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White
1200	1	10'-0" x 7'-0"	10'-0" x 7'-0" Double Hung Window	White	White





**Architect**  
 Lane S. Meloy, AIA  
 60 South Harbor, LA 70002  
 Phone: (504) 885-1111  
 Fax: (504) 885-1174  
 www.lanemeloy.com

LDG 11 (COMMERCIAL LEASE SPACE)  
 Lighten Lane Term of Lighten, Modern Core, Inc.

REVISIONS  
 2681-1  
 No. \_\_\_\_\_ Date \_\_\_\_\_

90% DOCUMENTS  
 ADJUST 7.2018  
 01/11/2018

**\$1.02**  
 GENERAL NOTE

**WOOD TRUSSES CONT.**

A. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

**PART 2.1 - EXECUTION**

3.1 FABRICATION  
 A. FABRICATE IN STRICT ACCORDANCE WITH THE SHOP DRAWINGS AND OTHER DATA APPROVED BY THE ARCHITECT.

B. TRUSS MANUFACTURER SHALL BE DETERMINED BY THE ARCHITECT AND THE DESIGNER AND SHALL BE INDICATED ON THE PLANS. COMPLETE DESIGN INFORMATION AND LISTS OF MANUFACTURERS SHALL BE PROVIDED TO THE ARCHITECT AND DESIGNER FOR EACH TRUSS DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE SELECTION OF THE MANUFACTURER WHOSE DESIGN AND CONSTRUCTION IS TO BE FOLLOWED.

3.2 SURFACE CONDITIONS  
 A. EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE PERFORMED. NOTIFY ARCHITECT IMMEDIATELY OF ANY UNDESIRABLE CONDITIONS. CORRECTION OF THE WORK, DO NOT PROCEED UNTIL UNDESIRABLE CONDITIONS ARE CORRECTED.

3.3 INSTALLATION  
 A. CONTRACTOR AS REQUIRED INTO OTHER TRADES TO VERIFY WHETHER ANY ADJUSTMENTS ARE REQUIRED IN THE WORK OF OTHER TRADES FOR INTERLOCK WITH THE WORK OF THIS SECTION. THIS INCLUDES SUPPORT OF HVAC EQUIPMENT WHERE APPLICABLE.

B. INSTALL THE WORK OF THIS SECTION IN STRICT ACCORDANCE WITH THE ORIGINAL ARCHITECT'S DESIGN AND SHOP DRAWINGS. PERMIT THE CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS AND REQUIREMENTS OF THE LOCAL, STATE, AND FEDERAL AGENCIES AND MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES. UNLESS ALL APPROVALS AND REQUIREMENTS HAVE BEEN OBTAINED, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK.

1. SORT THE TRUSSES INTO POSITION WITH PROPER BRACING SECURED AT DESIGNATED LIFTING POINTS.

2. POSITION TRUSSES INTO PLACE USING SLINGING OF TRUSSES TO A LIFTING POINT AND IN SAFE POSITION UNTIL POLYURETHANE IS INSTALLED.

3. BRACE TRUSSES TO MAINTAIN PROPER BRACING PRIOR TO APPLICATION OF POLYURETHANE. BRACE TRUSSES TO MAINTAIN PROPER BRACING PRIOR TO APPLICATION OF POLYURETHANE.

4. PROVIDE SUB FASCS TO ALIGN ENDS OF TRUSSES AND BOSS.

C. THE CONTRACTOR IS RESPONSIBLE FOR PROPER WOOD TRUSS HANDLING, ALIGNMENT, CONNECTIONS AND WORK. TEMPORARY BRACING, ALL PERMANENT BRACING AND CONNECTIONS SHALL BE PROVIDED AT EACH CORNER AND AT EVERY TRUSS BEARING POINT. BRACING SHALL BE INSTALLED AT THAT BEARING POINT, TOP OR BOTTOM AT TRUSS JOINTS TO MEET REQUIRED LOADING.

D. JOINTS SHALL BE PROVIDED WITH ONE (1) OF THE FOLLOWING: 1. METAL BRACING AND CONNECTORS. 2. METAL BRACING AND CONNECTORS WITH WOOD BRACING. 3. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 4. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 5. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 6. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 7. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 8. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 9. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING. 10. METAL BRACING AND CONNECTORS WITH WOOD BRACING AND WOOD BRACING.

**WOOD TRUSSES**

**PART 1.1 - GENERAL**

1.1 DESCRIPTION  
 A. WOOD TRUSSES FABRICATED FROM DIMENSIONAL, DIMENSIONAL LUMBER SHALL BE SINGLE PLANE AND METAL PLATE CONNECTED TRUSSES TO INCLUDE BOTH HOOP TRUSSES AND TRUSS-JOISTS (IF ANY).

B. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

C. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

D. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

E. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

F. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

G. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

H. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

I. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

J. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

K. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

L. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

M. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

N. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

O. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

P. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

Q. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

R. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

S. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

T. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

U. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

**WOOD FRAMING NOTES**

1. WOOD FRAMING SHALL BE SOUTHERN PINE, NO. 2, K.D. (18% MAX. MOISTURE).

2. STRUCTURAL GLUED LAMINATED TIMBER SHALL BE PRODUCED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION (AIA), MINIMUM ALLOWABLE CONNECTIONS FOR STRUCTURAL TIMBER SHALL BE GALVANIZED STEEL-TIE CONNECTORS WITH AN ANCHOR BOLT OR APPROVED EQUAL.

3. PRESSURE-TREATED SOUTHERN PINE USE GALVANIZED NAILS IN PRESSURE-TREATED WOOD. DIMENSIONS SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

4. FLYWOOD DIMENSIONS SHALL APA RATED SHEATHING WITH THICKNESS AS NOTED IN USE. ONLY MANUFACTURER'S ORIGINAL DOCUMENTS, SPECIFICATION #10-01 OR AIA DUBS (CHECK FLOOR PANEL, APPLICABLE LABEL FOR COMPLIANCE).

5. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE. FLYWOOD DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.

6. AT ALL EXTERIOR WALL CORNERS, PROVIDE FASTENERS PER DETAIL BEE.

7. PROVIDE FASTENERS PER DETAIL BEE.

8. PROVIDE FASTENERS PER DETAIL BEE.

9. PROVIDE FASTENERS PER DETAIL BEE.

10. PROVIDE FASTENERS PER DETAIL BEE.

11. PROVIDE FASTENERS PER DETAIL BEE.

12. PROVIDE FASTENERS PER DETAIL BEE.

13. PROVIDE FASTENERS PER DETAIL BEE.

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17. PROVIDE FASTENERS PER DETAIL BEE.

18. PROVIDE FASTENERS PER DETAIL BEE.

19. PROVIDE FASTENERS PER DETAIL BEE.

20. PROVIDE FASTENERS PER DETAIL BEE.

21. PROVIDE FASTENERS PER DETAIL BEE.

22. PROVIDE FASTENERS PER DETAIL BEE.

**WOOD TRUSSES**

**PART 1.1 - GENERAL**

1.1 DESCRIPTION  
 A. WOOD TRUSSES FABRICATED FROM DIMENSIONAL, DIMENSIONAL LUMBER SHALL BE SINGLE PLANE AND METAL PLATE CONNECTED TRUSSES TO INCLUDE BOTH HOOP TRUSSES AND TRUSS-JOISTS (IF ANY).

B. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

C. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

D. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

E. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

F. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

G. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

H. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

I. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

J. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

K. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

L. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

M. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

N. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

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P. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

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R. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

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T. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

U. TRUSSES SHALL BE MANUFACTURED TO MEET THE QUALITY REQUIREMENTS OF ANSI/TPI 1 AND IN ACCORDANCE WITH THE INFORMATION PROVIDED IN THE FINAL APPROVED TRUSS DESIGN DRAWING.

**WOOD TRUSSES**

**PART 1.1 - GENERAL**

1.1 DESCRIPTION  
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**RELEASED FOR CONSTRUCTION**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**RELEASED FOR PERMITTING**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**RELEASED FOR APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

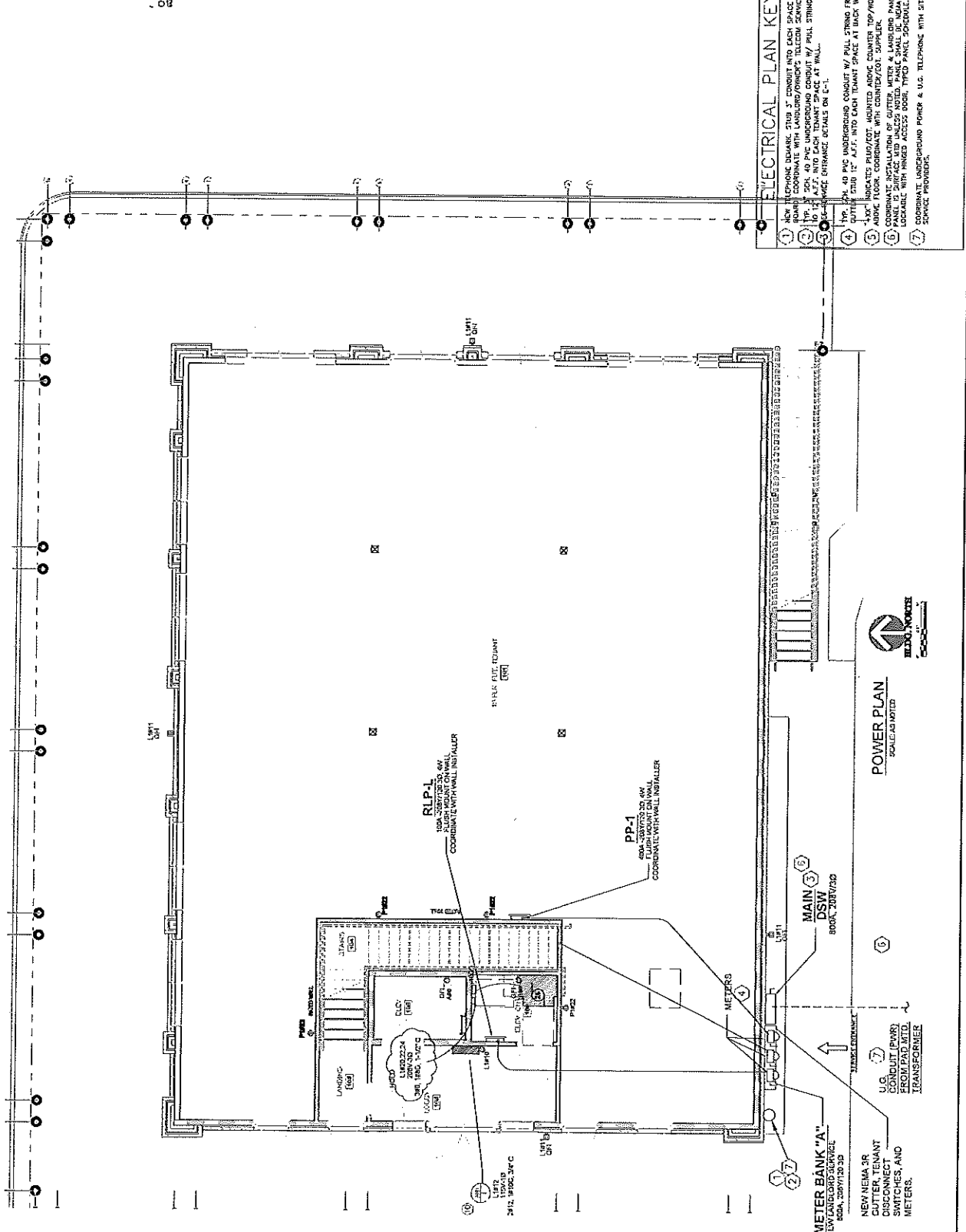
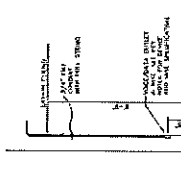
**Parks Engineering Inc.**  
 1575 Montgomery Highway, Box 628  
 Birmingham, Alabama 35219  
 Great Falls, VA 22064  
 PK 0000000000  
 PK 0000000000

**NOT FOR CONSTRUCTION FOR BID PURPOSES ONLY**

Project: \_\_\_\_\_  
 Building: \_\_\_\_\_  
 Location: \_\_\_\_\_

**Architect**  
 Lerner & Mack, AIA  
 1000 ...  
 ...

**E-2**  
 SHEET NO. 2 OF 6



- ELECTRICAL PLAN KEY NOTES**
- NEW TELEPHONE DEBRAG. THIS 3" CONDUIT INTO EACH SPACE FOR TENANT PHONE
  - NEW 3/4" DIA. 40 PIG UNDERGROUND CONDUIT. POOL STRING FROM TELECOM DEBRAG INTO EACH TENANT SPACE AT WALL.
  - NEW 1/2" DIA. 40 PIG UNDERGROUND CONDUIT. POOL STRING FROM TELECOM DEBRAG INTO EACH TENANT SPACE AT WALL.
  - NEW 1/2" DIA. 40 PIG UNDERGROUND CONDUIT. POOL STRING FROM TENANT METER AT GUTTER INTO 1/2" AFF. INTO EACH TENANT SPACE AT WALL.
  - 1" DIA. 40 PIG UNDERGROUND CONDUIT ABOVE SQUARE TOPWORK SURFACE AT HEIGHT ABOVE FLOOR. COORDINATE WITH COUNTER/ISOL. SUPPLIER.
  - COORDINATE INSTALLATION OF GUTTER, METER & LANGUAGE PANEL WITH O.C. LANDLORD. LANGUAGE PANEL SHALL BE NEMA 3R MAIN IUG. COPPER BUSB. LOCKABLE WITH WIRING ACCESS DOOR. 1" DIA. 40 PIG UNDERGROUND CONDUIT ABOVE SQUARE TOPWORK SURFACE AT HEIGHT ABOVE FLOOR. COORDINATE WITH SITE CONTRACTOR AND LOCAL SERVICE PROVIDERS.



**POWER PLAN**  
 SCALE AS NOTED

**METER BANK "A"**  
 NEW NEMA 3R GUTTER, TENANT DISCONNECT SWITCHES, AND METERS.

U.G. CONDUIT (PWR) FROM PAD INTO TRANSFORMER

MAIN MSU 800A, 120V/20

PP-1  
 40A, 250V/120 3P  
 COORDINATE WITH WALL INSTALLER

RUP-1  
 100A, 250V/120 3P  
 COORDINATE WITH WALL INSTALLER

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

TRUNK RACEWAY

**RELEASED FOR CONSTRUCTION**  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

**RELEASED FOR PERMITTING**  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

**RELEASED FOR APPROVAL**  
DATE: 02/29/2013  
BY: \_\_\_\_\_

**Parks Engineering Inc.**  
1372 Montgomery Highway, Ste. 1005  
Birmingham, Alabama 35219  
PH: 205-988-8888  
FAX: 205-988-8889

**NOT FOR CONSTRUCTION FOR BID PURPOSES ONLY**

Submitted For Review  
By: \_\_\_\_\_  
Building "T" (Lease Space)  
Sunlight Court, Birmingham, Alabama  
Madison County, MS



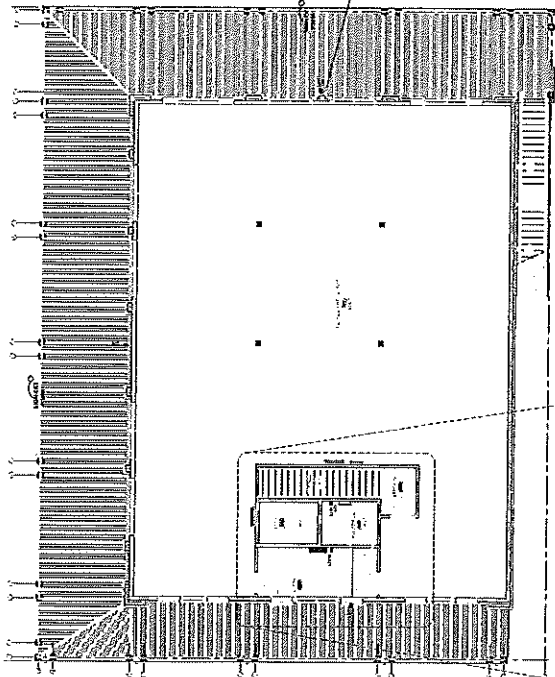
**Architect**  
L&S ARCHITECTS  
10000 Highway 100, Suite 100  
Birmingham, AL 35244  
Phone: 205-988-1177  
Fax: 205-988-1178

NO.	DATE	DESCRIPTION
1	02/29/2013	ISSUED FOR PERMITTING
2	02/29/2013	ISSUED FOR CONSTRUCTION

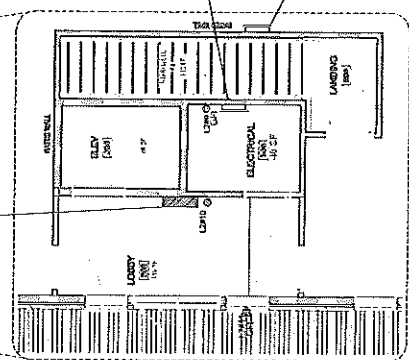
CONTRACT NO. \_\_\_\_\_  
SHEET NO. \_\_\_\_\_

**E-3**  
SHEET NO. 3 OF 6

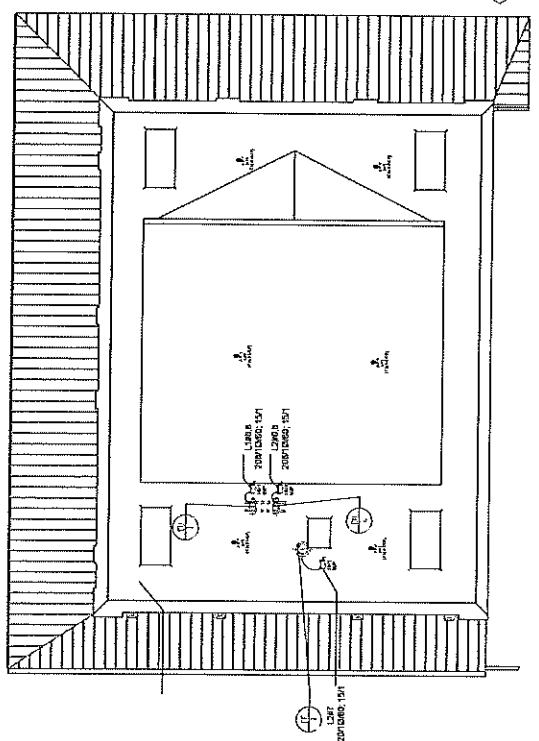
- ELECTRICAL PLAN KEY NOTES**
- COORDINATE W/MECH LOCATIONS WITH MECH CONTRACTOR. PROVIDE LOCUS.
  - FRACTURED HP EXHAUST FAN, FINISHED AND INSTALLED BY MECH CONTRACTOR. PROVIDE LOCUS. COORDINATE CONNECTIONS BY ELECTRICAL CONTRACTOR. PROVIDE ON/OFF SWITCH ON EXHAUST FAN.
  - "W" = WATER PROOF AND/OR MEM. 2".
  - SURFACE MOUNTED RECEPTACLE WITH ABOVE GRADE W/L.
  - "S" INDICATES PLUS MOUNTED ABOVE CEILING TOP OF CON. SURFACE. AT HEIGHT ABOVE FLOOR. COORDINATE WITH CONTRACTOR, SUPPLIER.
  - ALL CONDENSER RECONNECTS SHALL BE USED.
  - VERIFY THE PANEL REQUIREMENTS OF THE ITEM PRIOR TO INSTALLATION.
  - THIS ITEM IS HARDWARE. OWNER'S MANUFACTURER'S LITERATURE FOR INSTALLATION. RECONNECTOR FIELD TEST USING RECONNECTS PRIOR TO INSTALLATION. VERIFY WORKING. VERIFY WORKING. VERIFY WORKING.
  - CONNECTIONS OF WORK UNITS MUST BE MADE TO CORRECTLY IDENTIFIED WIRING CONNECTIONS/FAN AND STD AIR FAN WORKS. ON RECEPTABLES ARE W/ED CONNECTED.



**1ST FLR. POWER PLAN**  
SCALE: AS NOTED



**ENLARGED 1ST FLR. LOBBY POWER PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF POWER PLAN**  
SCALE: AS NOTED



RELEASED FOR CONSTRUCTION BY DATE

RELEASED FOR PERMITTING BY DATE

RELEASED FOR APPROVAL BY DATE

**Parks Engineering Inc.**  
 1578 Montgomery Highway, Ste. 208  
 Birmingham, Alabama 35203  
 PK 005403289  
 PK 005403289  
 PK 005403289

NOT FOR CONSTRUCTION FOR BID PURPOSES ONLY

PROJECT DISTRIBUTION  
 Building "I" (Lease Space)  
 University Park, Town of Montgomery,  
 Reuben Center, 110

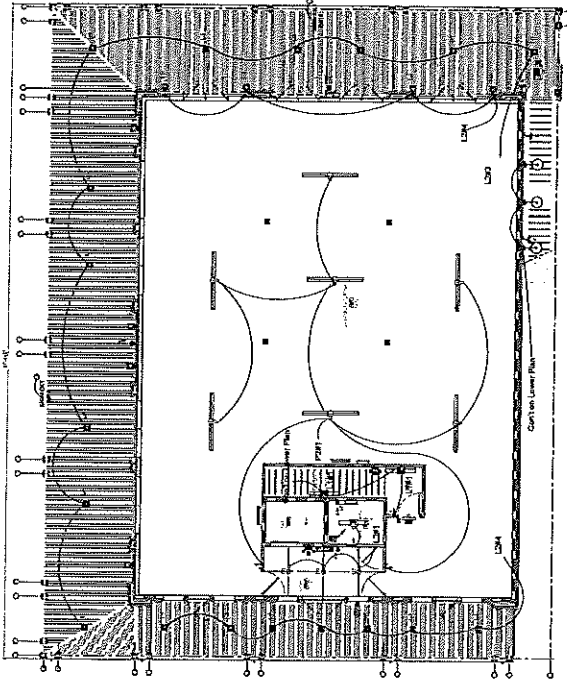


**Architect**  
 W. Kerry & Associates  
 1000 North 15th Street  
 Montgomery, AL 36102  
 (205) 261-1177  
 wjerry@wka.com

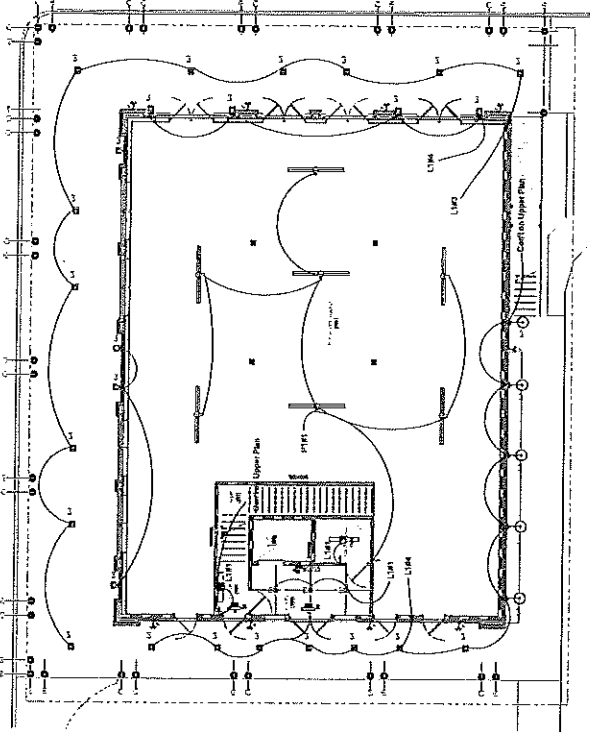
NO.	REVISION	DATE	BY	CHKD.
1	ISSUE FOR PERMITTING	05/04/13	WKA	WKA
2	ISSUE FOR CONSTRUCTION	05/04/13	WKA	WKA

DESIGNED BY: WKA  
 DRAWN BY: WKA  
 CHECKED BY: WKA  
 DATE: 05/04/13

ELECTRICAL  
 1ST FLOOR LIGHTING PLAN  
 DRAWING NUMBER: E-4  
 SHEET NO. 4 OF 7



1ST FLR. LIGHTING PLAN  
 SCALE: AS NOTED



GROUND FLR. LIGHTING PLAN  
 SCALE: AS NOTED



**RELEASED FOR CONSTRUCTION BY**  
DATE: \_\_\_\_\_

**RELEASED FOR PERMITTING BY**  
DATE: \_\_\_\_\_

**RELEASED FOR APPROVAL BY**  
DATE: \_\_\_\_\_

**Parks Engineering Inc.**  
1575 MacArthur Highway, Ste. 200  
Birmingham, Alabama 35202-1110  
Phone: (205) 988-8888  
Fax: (205) 988-8889  
www.parksengineering.com

**NOT FOR CONSTRUCTION FOR BID PURPOSES ONLY**

**LENO & MANN, A.S.C.**  
Architect  
1500 15th Avenue, Suite 200  
Birmingham, AL 35202  
Phone: (205) 988-7777  
Fax: (205) 988-7778

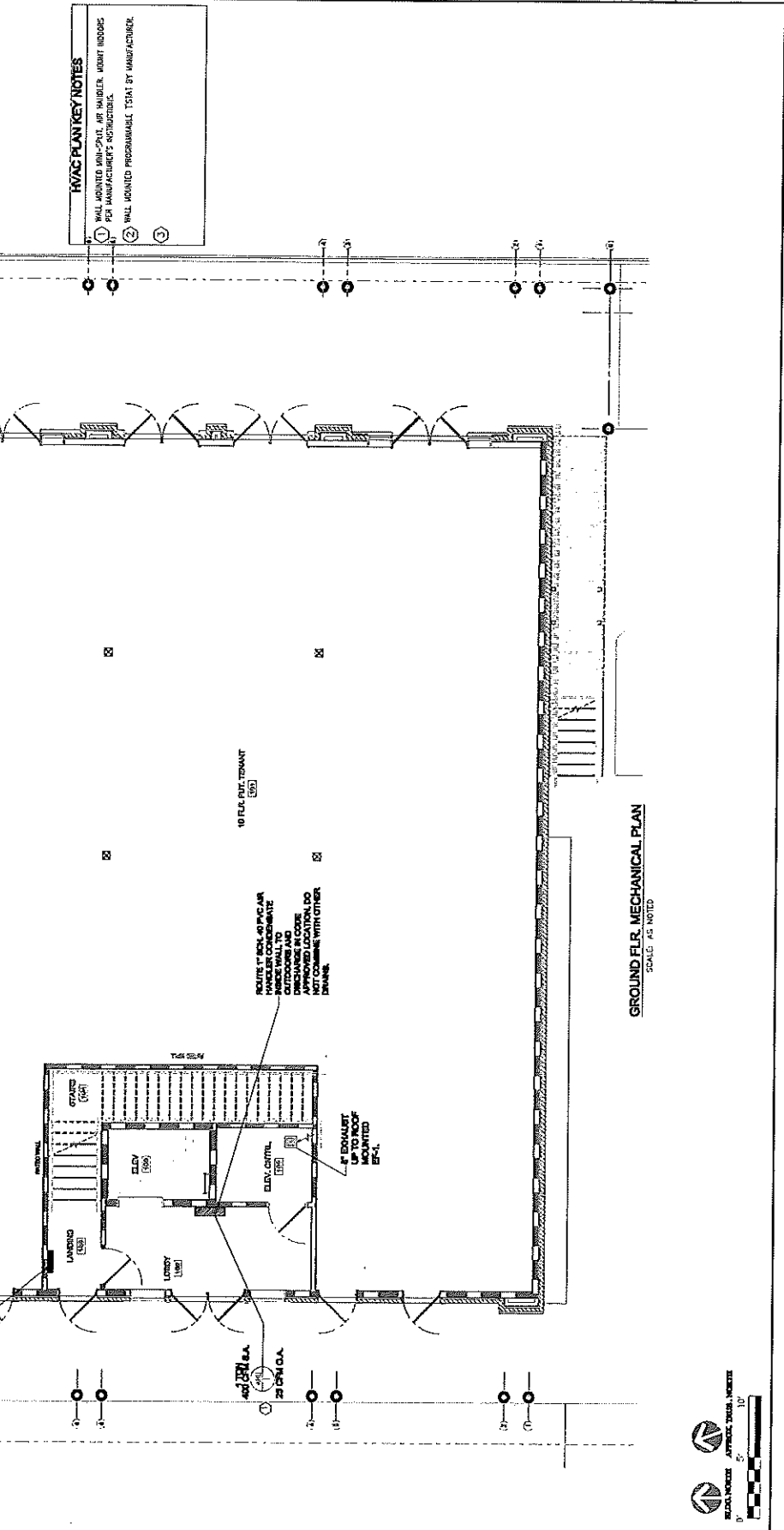
NO.	DATE	DESCRIPTION	BY	CHKD.
1	07/20/10	FOR APPROVAL		
2	08/10/10	FOR APPROVAL		
3	08/10/10	FOR APPROVAL		
4	08/10/10	FOR APPROVAL		
5	08/10/10	FOR APPROVAL		
6	08/10/10	FOR APPROVAL		
7	08/10/10	FOR APPROVAL		
8	08/10/10	FOR APPROVAL		
9	08/10/10	FOR APPROVAL		
10	08/10/10	FOR APPROVAL		

**RVAC**  
**GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
DRAWING NUMBER

**M-2**  
SHEET NO. 2 OF 4

**FIELD VERIFY ALL CONDITIONS**  
BEFORE CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS OF THE SITE AND MATERIALS NECESSARY FOR THIS INSTALLATION TO BE CORRECT.  
THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES.  
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**RVAC PLAN KEY NOTES**  
1. WALL MOUNTED MINI-SPLIT AIR HANDLER, MOUNT HANGERS FOR MANUFACTURER'S INSTRUCTIONS.  
2. WALL MOUNTED PROGRAMMABLE TSTAT BY MANUFACTURER.



**GROUND FLR. MECHANICAL PLAN**  
SCALE: AS NOTED

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07/20/10	FOR APPROVAL
2	08/10/10	FOR APPROVAL
3	08/10/10	FOR APPROVAL
4	08/10/10	FOR APPROVAL
5	08/10/10	FOR APPROVAL
6	08/10/10	FOR APPROVAL
7	08/10/10	FOR APPROVAL
8	08/10/10	FOR APPROVAL
9	08/10/10	FOR APPROVAL
10	08/10/10	FOR APPROVAL

**RELEASED FOR CONSIDERATION**  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

**RELEASED FOR PERMITTING**  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

**RELEASED FOR APPROVAL**  
DATE: 07/29/10  
BY: \_\_\_\_\_

**Parks Engineering Inc.**  
1572 Montgomery Highway, Ste. 200  
Atlanta, Georgia 30316  
Phone: 404.525.1100  
Fax: 404.525.1101  
www.parks-engineering.com

**NOT FOR CONSTRUCTION FOR OTHER PURPOSES ONLY**

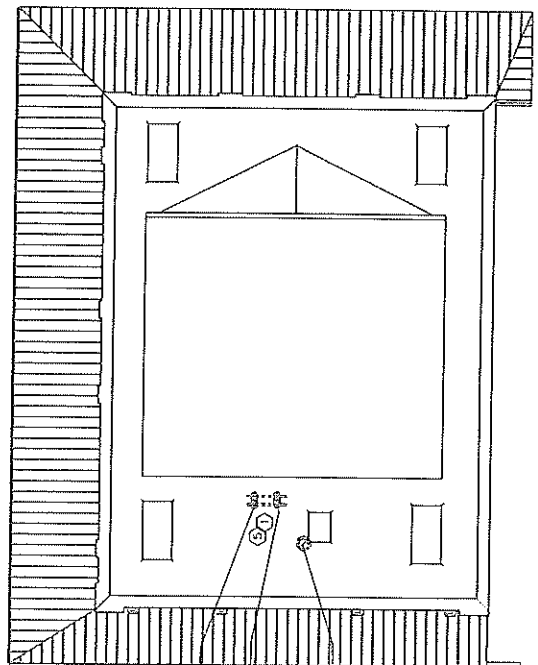
**PROJECT INFORMATION**  
Building "1" (Lease Space)  
Arapahoe Lane, Town of Arapahoe,  
Washington County, Ill.

**Architect**  
Lynch & Meyer, Inc.  
1000 North Dearborn Street  
Chicago, Illinois 60610  
Phone: 312.329.3300  
www.lynchmeyers.com

NO.	DATE	DESCRIPTION
1	07/29/10	ISSUED FOR PERMITTING
2	07/29/10	ISSUED FOR APPROVAL
3	07/29/10	ISSUED FOR CONSIDERATION

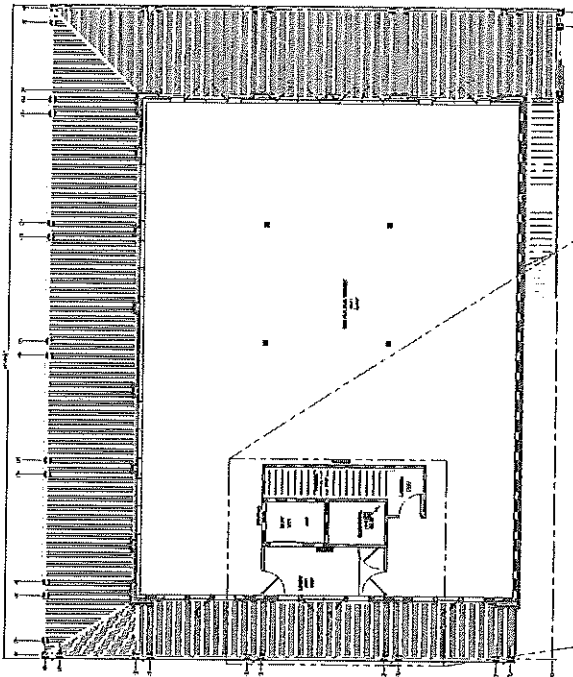
**M-3**  
SHEET NO. 3 OF 4

- HVAC PLAN KEY NOTES**
1. MINIMUM CLEARANCE FOR CONDENSING UNIT: SPACE UNITS PER MANUFACTURER'S SPECIFICATIONS.
  2. WALL MOUNTED UNIT-SPLIT AIR HANDLER: MOUNT INDOORS PER MANUFACTURER'S INSTRUCTIONS.
  3. UNITS TO BE MOUNTED ON 1" HIGH CURB, PROVIDED AND INSTALLED BY CONTRACTOR, BY FINAL CONNECTIONS BY ELECTRICAL CONTRACTOR.
  4. WALL MOUNTED PROGRAMMABLE TSTAT BY TANK OR APPROVED EQUAL.
  5. MINIMUM RECOMMENDED CLEARANCE AROUND PACKAGED UNIT IS CONSIDERED 18" INCHES ON NON-SERVICE SIDE AND 24" INCHES ON SERVICE SIDE. MINIMUM CLEARANCE FOR CONDENSER AIR FLOW AS RECOMMENDED BY UNIT MANUFACTURER. MAINTAIN MINIMUM CLEARANCE, RECOMMENDED BY UNIT MANUFACTURER, BETWEEN CONDENSING COILS AND CONDENSING UNIT. MAINTAIN MINIMUM ELECTRICAL CLEARANCE AS RECOMMENDED BY THE M.U.C.



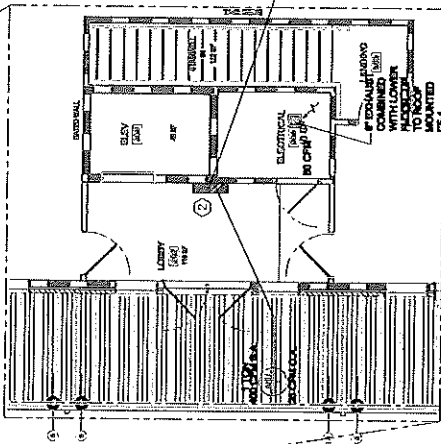
**ROOF MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"

**ARCHITECT'S DESIGN SHOWS NO FIELD MATCHES**  
DISTURBANCE IS NOT ALLOWED IN ANY AREA UNLESS APPROVAL GRANTED BY OWNER IN WRITING.



**1ST FLOOR MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"

**ARCHITECT'S DESIGN SHOWS NO FIELD MATCHES**  
DISTURBANCE IS NOT ALLOWED IN ANY AREA UNLESS APPROVAL GRANTED BY OWNER IN WRITING.



**ENLARGED 1ST FLOOR MECHANICAL PLAN**  
SCALE: AS NOTED

**ARCHITECT'S DESIGN SHOWS NO FIELD MATCHES**  
DISTURBANCE IS NOT ALLOWED IN ANY AREA UNLESS APPROVAL GRANTED BY OWNER IN WRITING.

**MECHANICAL SYMBOLS**

**APPROXIMATE SCALE**



